

MAY WHETTER & GROSE

4 CHARLESTOWN MEWS, CHARLESTOWN ROAD, CHARLESTOWN, GUIDE PRICE £355,000



NESTLED WITHIN THE HEART OF THE HISTORIC PORT OF CHARLESTOWN AND TO THE REAR OF THE FORMER METHODIST CHAPEL, IS THIS SPACIOUS TWO BEDROOM GROUND FLOOR APARTMENT, THAT FORMS PART OF THE OLD SCHOOL ROOMS. SYMPATHETICALLY RENOVATED THROUGHOUT WHILST OFFERING A CONTEMPORARY FEEL, BENEFITING FROM LARGE OPEN PLAN LIVING AREA, TWO DOUBLE BEDROOMS BOTH EN-SUITE AND ALSO HAVING UNDERFLOOR HEATING THROUGHOUT. VIEWING IS HIGHLY ESSENTIAL TO APPRECIATE ITS SIZE AND SUPERB POSITION FOR EXPLORING THE ST AUSTELL BAY A SHORT DISTANCE FROM THE COASTAL FOOTPATH. ALSO WITHIN A SHORT DRIVE OF LOCAL SUPERMARKETS, THIS WONDERFUL APARTMENT COULD ALSO LEND ITSELF AS FURTHER INCOME HOLIDAY LET POTENTIAL. FORMING PART OF THE GRADE II* LISTED SCHOOL ROOMS.





Charlestown is a popular Georgian harbour side village situated around a picturesque inner and outer harbour with pebble beach, some two miles from St Austell town centre. The harbour currently houses some fishing boats and several tall ships, and has been the back drop of several feature films and TV series such as Poldark, Alice in Wonderland, Doctor Who, The Three Musketeers and The Eagle Has Landed, largely due to its picturesque natural and unspoilt coastline surrounds. Charlestown has a hotel and guest houses, with excellent restaurants, and a selection of public houses. To both sides of Charlestown harbour there is the South West coastal footpath providing some wonderful walks with cliff top views and sandy coves and beaches. To the east lies the natural deep harbour port of Fowey with excellent boating facilities and with a range of excellent local shops and restaurants. Nearby are several beaches including Porthpean which has its own sailing club and outdoor activities centre. The property is within easy walking distance to several beaches, supermarkets and St Austell Station (London Paddington four and a half hours).

Directions:

From St Austell head down Charlestown Road to the bottom, you will notice on the left hand side the Children's playpark. As you carry on past this the former Methodist Chapel will appear. Just before the Methodist Chapel there is a lane going down, a tarmac driveway which leads to this property. A board will be erected at the front by the Chapel for convenience.

Accommodation:

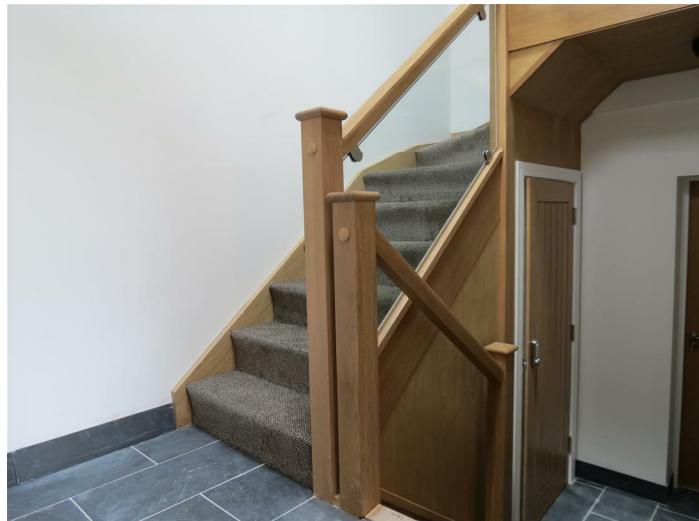


Scenery shot of local area

All measurements are approximate, show maximum room dimensions and do not allow for clearance due to limited headroom.



From the parking area flag stone steps and covered entrance with exposed timbers and walls with high level glass panelling. Communal door into entrance hall.

Entrance Hall:

Slate flooring and carpeted staircase with oak handrail and glass inserts to the first floor. Door into apartment.

Carpeted flooring throughout the main living area, inner hallway, staircase and bedrooms. Additional door into open plan living area.

Open Plan Living Area:

The feeling of space is further enhanced by two large single glazed sash windows with low level slated sills. The high vaulted ceiling with exposed beams and light panels. Ample array of wall mounted sockets plus television aerial point. Entry phone system. Door into under stairs storage housing the electric box and underfloor heating.

Lounge Area:

11'10" widening to 16'6" x 14'4" (3.63m widening to 5.03 x 4.38m)

**Kitchen Area:**

13'7" x 5'7" (4.16m x 1.72m)



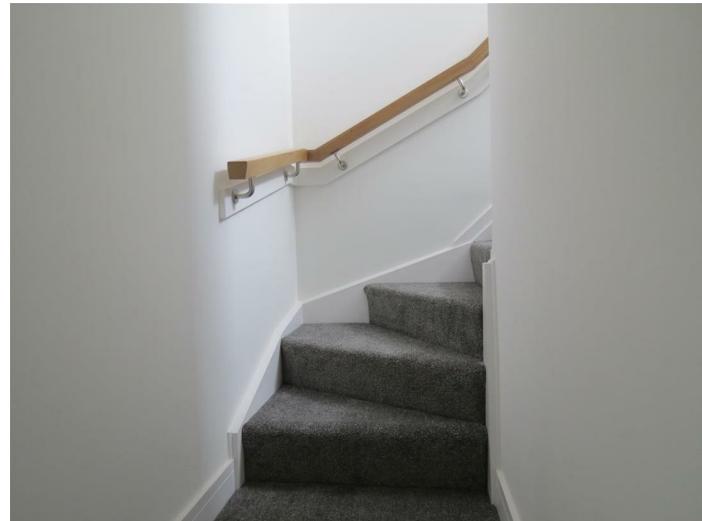
The main kitchen area comprises of a range of colour fronted wall and base units complemented with square edged light sparkle quartz work surfaces with black gloss bevelled edge tile splash back. Four ring electric hob with extractor over and integrated Bosch oven below. Under unit space for further white good appliances. Finished with a strip wood effect vinyl flooring. Recessed spot lighting.

Family Bathroom:
8'0" x 5'5" (2.44m x 1.67m)



Beautifully appointed with a two tone part tiled wall surround and panel bath with central mixer tap. Hand basin and WC with hidden cistern. Curved glazed shower door into one and a half size cubicle with rain effect shower head and separate attachment.

Bedroom:
11'8" x 8'0" (3.56m x 2.44m)
Large sash window with low level slate sill to the side.
Recess spotighting. Ample array of double wall mounted sockets plus television point.



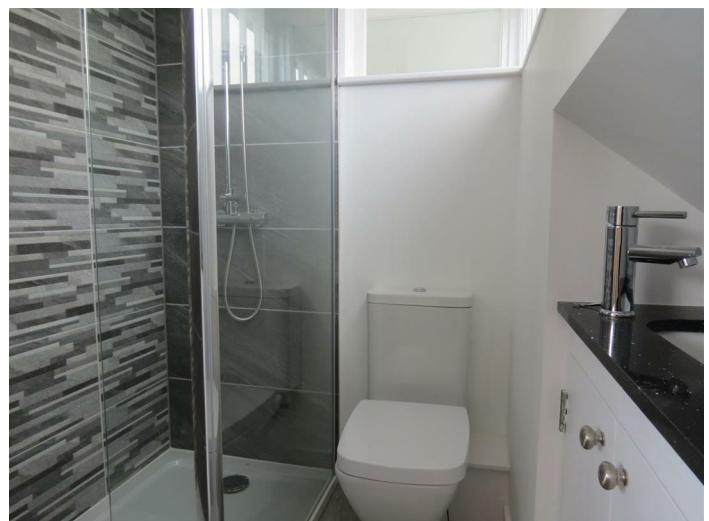
From the inner hallway the carpeted staircase with oak handrail leads to the first floor bedroom with glass light panel to the side looking through to the exposed beams and further historic glass panelling, with views up across to Polmear Farm and glimpses of the sea and Harbour.

Bedroom:
7'10" x 8'10" (2.39m x 2.71m)



Thoughtfully designed with oak wood doors into eaves storage with further doors into bedroom also incorporating eaves storage to both sides. The glazed historic panels continue to enhance the feeling of light with additional high level Velux window. Television aerial point. Ample array of double wall mounted sockets. Additional open eaves storage area. Sliding door into en-suite.

En-Suite:



Comprising hand basin set into darkened speckled surround with cabinet storage beneath. WC and glass panel open shower with rain effect shower head and separate attachment. Recess spotighting. Extractor.

Outside:



| Energy Efficiency Rating | | Current | Potential |
|--|-------------------------|---------|-----------|
| <i>Very energy efficient - lower running costs</i> | | | |
| (92 plus) | A | | |
| (81-91) | B | | |
| (69-80) | C | | |
| (55-68) | D | | |
| (39-54) | E | | |
| (21-38) | F | | |
| (1-20) | G | | |
| <i>Not energy efficient - higher running costs</i> | | | |
| England & Wales | EU Directive 2002/91/EC | | |

| Environmental Impact (CO ₂) Rating | | Current | Potential |
|---|-------------------------|---------|-----------|
| <i>Very environmentally friendly - lower CO₂ emissions</i> | | | |
| (92 plus) | A | | |
| (81-91) | B | | |
| (69-80) | C | | |
| (55-68) | D | | |
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| (21-38) | F | | |
| (1-20) | G | | |
| <i>Not environmentally friendly - higher CO₂ emissions</i> | | | |
| England & Wales | EU Directive 2002/91/EC | | |

The property is accessed from Charlestown Road, to the side of the Chapel giving access to the tarmac driveway and allocated parking.



Agents Note:

Services mains gas, electric, water and drainage. There is shared pedestrian right of way through the garden area to the occupiers of the property to the rear side. Management Company to be discussed for the select development of these five residence.

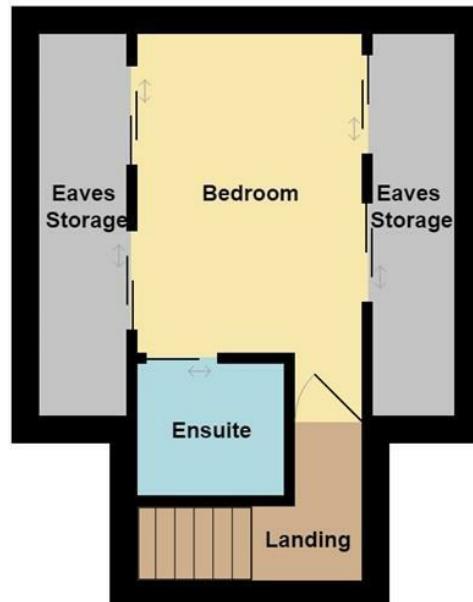
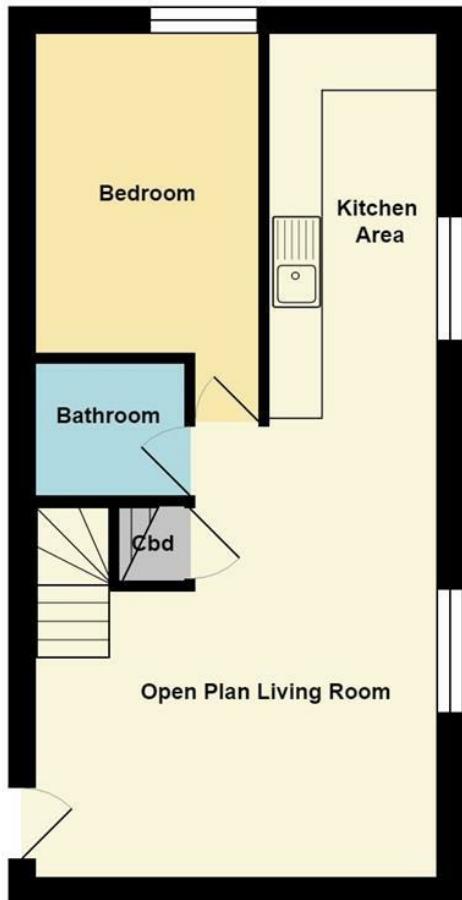
Awaiting EPC/SAP

We are lead to believe the building is Grade II* Listed, we recommend you consult your legal and lending advisors prior to viewing.

We have got predictions of holiday investment income from Beach Retreats.

If you require the predicted income contact the office or contact Steve at Beach Retreats.

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beachretreats.co.uk



All measurements are approximate and for display purposes only.

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